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1. Purpose of the Design Guidelines

The purpose of these guidelines is to preserve and enhance the quality of life for historic building owners and other residents; protect property values and the cultural heritage of Lafayette; and grow the Lafayette area without losing the characteristics that make Lafayette unique.

PlanLafayette is a long-range plan for Lafayette Parish's growth and development. It is a vision for the next twenty years that is reviewed annually and updated periodically. *PlanLafayette* coordinates the efforts of many different aspects of our community including economic development and land use. One of the most important purposes of *PlanLafayette* is to formally identify the elements that make Lafayette a thriving and viable community that offers options to its residents regarding their work, education, and property options.

Lafayette is one of Louisiana's most diverse and culturally significant regions. Music, art, food, and dance are at the heart of our Cajun and Creole culture. There are over 125 locally designated landmarks, National Register buildings and districts, and significant cultural places located in the parish, most found in and around downtown and its older neighborhoods, yet the deterioration of Lafayette's housing and streetscapes in historic neighborhoods was identified as a Key Challenge in *PlanLafayette*. Protecting and preserving our culture is good for maintaining property values, supporting local businesses, and preserving our diverse cultural heritage.

Project Background

PlanLafayette is a long-range comprehensive plan for Lafayette Parish's growth and development. *PlanLafayette* was not developed in isolation, but instead through a "citizen-centered process that encouraged the entire community to contribute ideas for Lafayette's future."¹ Community engagement opportunities included:

- Interactive public forums,
- workshops,
- open houses,
- portable "meetings in a box" community events,
- committee meetings, and
- outreach through media placements, phone calls, online surveys, and social media posts,

¹ Lafayette Consolidated Government, *PlanLafayette*, 2021, xv.



Lafayette Historic District Design Guidelines: Purpose

In total, *PlanLafayette* community interaction included more than 7,000 points of engagement during the initial planning process.²

“Historic & Cultural Resources” were a topic of considerable attention during the development of *PlanLafayette* and continue to play a large role as the plan is updated. Three goals related to cultural resources were included in the plan, notably Goal 1: *Promote and Highlight Key Historical and Cultural Resources*. Five policy actions were identified to achieve this goal, including Policy Actions 4.1.2 and 4.1.3.³

Policy Action 4.1.2	Policy Action 4.1.3
Identify significant resources and encourage alternatives to the demolition of and/or inappropriate modifications to significant resources, such as architecturally compatible rehabilitation, adaptive reuse, and relocation.	Review impacts on historic resources during the planning and review of development projects, including considering alternatives to demolition or alteration of a historic property’s character.

Development of historic district guidelines helps to meet the goals of *PlanLafayette* through Policy Actions 4.1.2 and 4.1.3. Historic district guidelines will support the utilization of these historic neighborhoods, enhance the character of the neighborhoods, and protect the cultural heritage of Lafayette.

² Lafayette Consolidated Government, *PlanLafayette*, 2021, xv.

³ Lafayette Consolidated Government, *PlanLafayette*, 2021, 70.



2. What is Historic Preservation?

Historic Preservation in Lafayette

The Lafayette Historic Preservation Commission was formed in 1988. In 2017 Lafayette Consolidated Government became a Certified Local Government with a Preservation Commission in accordance with the Regulations of the Department of the Interior, National Park Service. The Louisiana State Historic Preservation Officer, through the Division of Historic Preservation of the Louisiana Department of Culture Recreation and Tourism has set forth minimum eligibility requirements for the process of certification for local governments in accordance with the Regulations of the Department of the Interior. The Lafayette Historic Preservation Commission seeks to meet these requirements by providing a process through which it can protect buildings, objects, landscapes, and other parts of the built environment that have historic or cultural significance. Lafayette's rich history and noteworthy architecture has resulted in a wealth of historic and culturally significant buildings, objects, and sites that are worthy of recognition and projection. The people of Lafayette created the Lafayette Historic Preservation Commission to recognize these properties that represent important trends and moments in Lafayette's history.

National Register of Historic Places / Local Districts / Local Landmarks

There are two main types of historic properties in Lafayette: Properties listed in the National Register of Historic Places and Lafayette Historic Register Districts and Landmarks. A National Register listing does not provide protections against character-destroying modifications and demolitions. Designation as a Lafayette Historic District Landmark provides regulatory requirements that protect properties based on a set of design guidelines developed for the District or Landmark. Both types of Register listings play a role in maintaining the character of Lafayette's important historic areas.

The National Register of Historic Places is the official list of the U.S. government of all the significant properties in the United States that are worthy of preservation. Administered by the National Park Service, the National Register includes buildings, structures, districts, sites, and objects that have been identified based on their historic, architectural, or cultural significance. Generally, these resources have to be at least fifty years old, but resources of extraordinary significance that are under fifty years old can also be recognized. Lafayette has several properties and districts listed in the National Register.

Lafayette Historic Districts and Landmarks are designated by local ordinance and fall under the jurisdiction of the Lafayette Historic Preservation Commission. The criteria for listing is the same as the National Register criteria, but once designated, Lafayette Register Districts and Landmarks require a design review prior to making changes to the property and the buildings and improvements thereon, and prior to submitting for a building permit review. Design review process provides a Certificate of Appropriateness from the Lafayette Historic Preservation Commission which is required in order to apply for building permits and start the work.



3. Design Review Process

This section outlines the steps of the design review process and identifies how to obtain a Certificate of Appropriateness from the Lafayette Historic Preservation Commission. Applicants are encouraged to contact the Planning Division to request a pre-application conference to discuss the proposed work and review the applicable historic district design guidelines.

Application for a Certificate of Appropriateness

Prior to any exterior work on a building within a historic district, a Certificate of Appropriateness (COA) from the Lafayette Historic Preservation Commission staff is needed. The application and review process will ensure that work done to a property is done according to the District's specific set of design guidelines. Minor work projects are reviewed by Commission staff to expedite the review.

**If a COA is not obtained before work begins,
Lafayette Consolidated Government
will issue a Stop Work Order for any project.
Failure to comply with the COA can result in fines for each and every day a violation occurs.**

What information is needed to apply for the Certificate of Appropriateness?

The Planning Division and the Historic Preservation Commission cannot complete the design review process without a completed application. Applications must be accepted as complete prior to review for a COA. Instructions and application form are found in the appendix section of this document. Typical information needed for the application includes:

- Detailed description and/or drawings illustrating the proposed construction/demolition work;
- Current photographs of the exterior of the property and the streetscape showing adjacent properties.

Additional information may be required depending on the complexity of the project, such as:

- Scaled drawings showing the façades of the building and any proposed changes identified;
- Building materials to be installed, including product samples, shop drawings when necessary;
- Site plans and/or floor plans with measurements that indicate the placement of the building on the property and the property lines, streets, driveways, accessory buildings, objects, and landscaping.

Additional information may be requested by the Planning Division staff prior to the application being accepted and the beginning of the review process.

Types of Projects

Minor Projects: Minor work projects can be reviewed by Planning Division staff and will not require full review by the Commission. See the list of minor and major work examples in the appendix. Some minor work projects may need approval by the Commission if Planning Division staff requests, or if the work sets a precedent for the District.

Major Projects: Major work projects are those that can impact the appearance or historic character of a building or street or includes a material change in appearance.

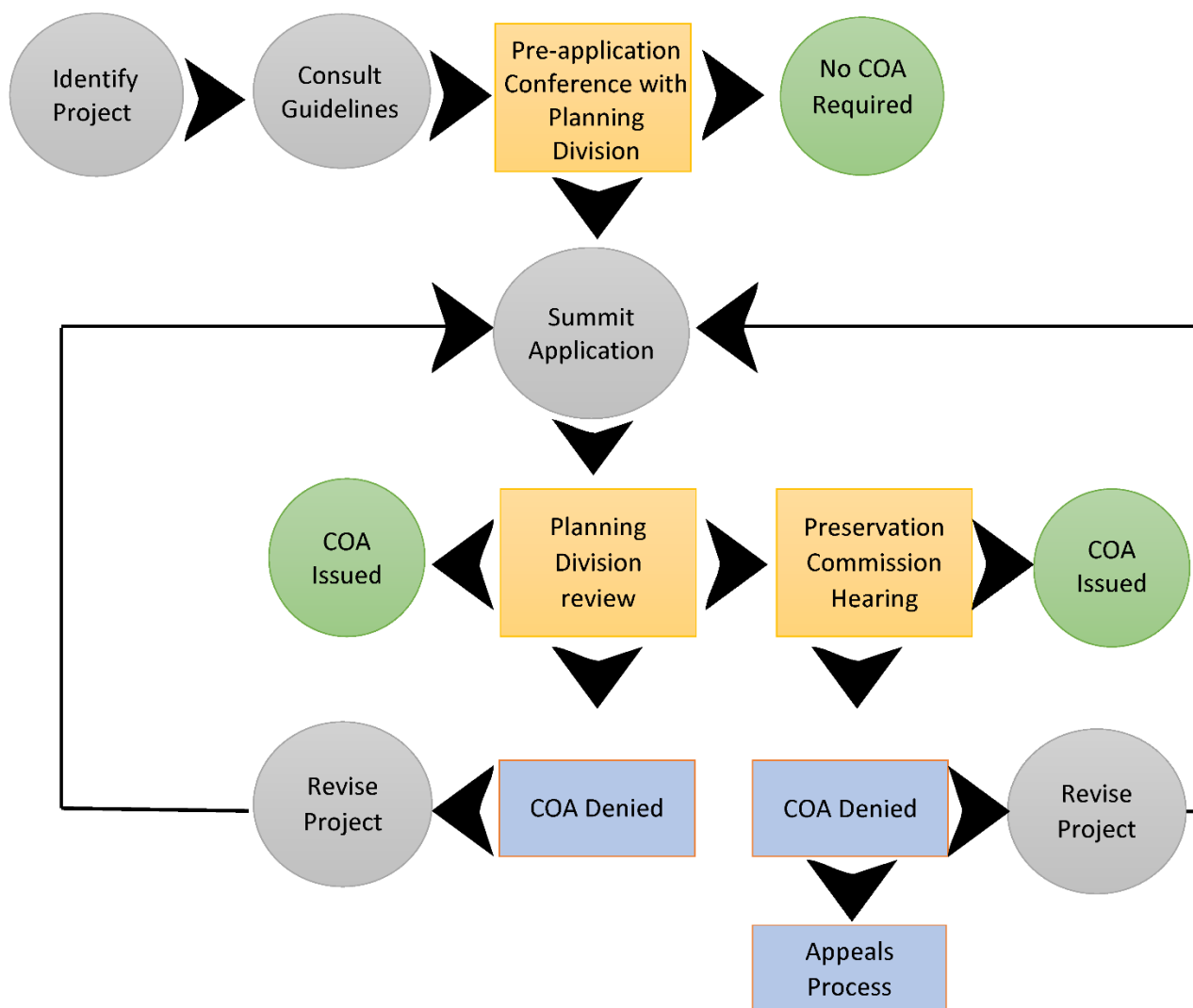


After a COA is issued, applications for a building permit will be accepted by the Codes Division.

Appeals

You can appeal the Preservation Commission's decision to the City Council within 10 days from the date of the decision but not more than 15 days after the date of the decision. The City Council will post notice of the public hearing and follow its hearing and notification process in keeping with Lafayette Development Code.

Overview of the Design Review Process





4. Secretary of Interior's Standards for Rehabilitation

Historic District Design Guidelines follow the Secretary of the Interior's *Standards for Rehabilitation*, a set of recommendations published by the National Park Service of the U.S. Department of the Interior. The *Standards* were established as a framework for the appropriate treatment and preservation of historic buildings that recognize that some modifications may be necessary for modern usage of the building. The *Standards* apply to all types and styles of historic buildings as well as the building's site and new construction within the historic district.

The guiding tenets of the *Standards* are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the



Lafayette Consolidated Government

Lafayette Historic Preservation Commission

Lafayette District Design Guidelines: Standards for Rehabilitation

massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



5. Annual Inspection & Exterior Maintenance

Periodic assessment and routine maintenance of your historic property will help avoid costly repairs and maintain the value of your historic home. Finding a problem and repairing it before it balloons into a major effort will help retain the historic materials and character of a historic building .

Addressing routine maintenance of the exterior of a historic building can help prevent actions that may lead to further deterioration, such as water leaking in from the roof and leading to rot of the roof framing. Examples of typical maintenance for a historic building can included cleaning gutters, replacing missing roof shingles, removing clinging vines, and repointing open mortar joints in brick walls, cleaning/changing window parts, sanding and painting wooden window components.

Ideally, historic materials will be repaired rather than replaced. But, if the damaged areas are too great and material but be replaced, in-kind replacement is the best route forward. “In-kind replacement” means using replacement components of the same materials, size, shape, finish, and details as the historic materials. For example, if you house requires replacement of wooden clapboards, the new clapboards should also be made of wood, have the same width as the historic pieces, have the same general appearance (such as a decorative beaded edge), and generally look the same as the clapboards that are being replaced. Replacing wooden clapboards with vinyl siding is not a compatible repair; the vinyl will not match in materials and may cause further deterioration to the building due to trapped moisture.

The Lafayette Preservation Commission recommends an annual inspection of your historic building to identify any maintenance issues. The inspection does not have to be complicated or as extensive as a building inspection conducted prior to a real estate purchase. Instead, focus on what could lead to potential problems down the road, such as:

On the roof:

- Missing late shingles / terra cotta tiles / asphalt shingles
- Damaged shingles, such as cracked tiles or worn edges
- If you have a metal roof, any signs of rust or holes
- Any sagging or bowing of the roof



- Any vegetation or moss that may be growing on the roof
- Loose flashing
- Leaning chimney
- Clogged, loose, or disconnected gutters
- Blistering paint on exposed rafters, fascia or under eaves

Exterior cladding:

- Missing clapboards or shingles
- Blistered, cracked or otherwise damaged clapboards or shingles
- Vegetation growing under or between the cladding
- Rot-damaged wooden clapboards or shingles
- Cracks or missing sections in exterior stucco
- Stucco bulges away from the wall
- Mortar is missing or crumbling
- Bricks are powdery, chipped, or cracked
- Signs of termite infestation

Windows & Doors

- Glass is cracked or missing
- Glazing compound is missing, cracked, or deteriorated
- For wooden windows, the sills and rails have rot
- The window or door does not fit properly in the opening
- The hardware, such as a hinge or bolt, doesn't function

How to approach repairs for these materials is addressed in the following sections.



6. Roofing

A roof not only protects the interior from the elements but is also a defining feature that contributes towards the historic architectural style of any historic building..

Roof characteristics

The goal with any roof repairs or replacement is to retain the historic configuration and appearance. If the historic roof is a side gable roof, that shape should be retained; don't change from one type of roof to another. Adding any new features, such as parapets, dormers, and chimneys is not appropriate unless there is demonstrated evidence the historic building had these features in the past.

If the building has ridge tiles or other decorative features such as finials, these features should be retained as part of the historic character of your building. If these features have to be temporarily removed to accommodate roof repair work, they should be replaced in the original historic location and orientation as part of the roofing project.

Roof repair and roofing material replacement

If your roof has limited damage to the roofing materials, replacing and patching with in-kind materials is appropriate, i.e. replace terra cotta tiles with terra cotta tiles of similar shape, size, and appearance. Materials cannot just match in color; for example, patching a slate roof with asphalt shingles of a similar color is not appropriate. See appendix for historic roofing material resources.

If the entire roof needs to be replaced, materials that match the existing roof are the most appropriate choice.

Roofing Dos & Don'ts

- DO patch with in-kind and sympathetic materials.
- DON'T change the roof characteristics.
- DO match the existing materials when roof replacement is necessary.
- DON'T remove or change dormers.
- DO replace finials, ridge tiles, or similar features.
- DON'T remove a chimney unless its structurally compromised.



Modern materials that mimic historic materials, such as synthetic slate, are available and would be considered appropriate. Care should be used to identify modern replacements that still resemble the historic materials and have an appropriate degree of longevity.

Replacement with a different, historically appropriate roofing material is an option if the roofing material is sympathetic with your building's architectural style and/or historic evidence (such as an old photograph of the building) shows the material was present at one time. Methods of researching your historic building are available in Appendix B.

Dormers

If your historic building has dormers, it is not appropriate to remove these features. Modifications to dormer windows, such as changing the roof shape or type or window frame or style or adding a dormer to a building that did not previously have one, should be avoided.

Dormers should not be added to a house unless there is demonstrated historic evidence

Gutters and downspouts

If your roofing project requires new gutters and/or downspouts, ensure the installation minimizes the visual impact to the overall historic character of the property and that installation does not unnecessarily damage and historic materials.

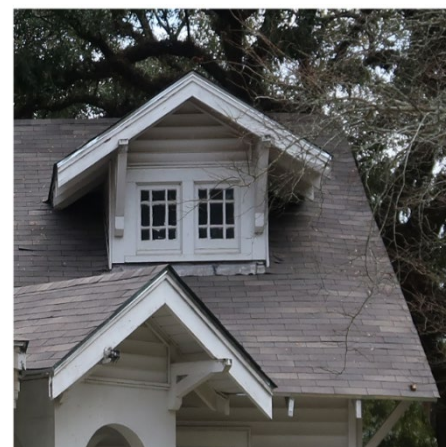
General recommendations

For slate roofs:

- Replace any damaged, cracked, or missing slates with in-kind materials.
- If the slate roof features a design or distinctive pattern, ensure the replacement slate does not interrupt the decorative feature.
- Replace any finials, ridge tiles, or other features when roof repair work is complete.
- If a slate roof requires full replacement, consider carefully the implications of selecting modern materials. If modern materials are selected, ensure the final roof appearance will be consistent with the historic appearance of the building, such as color, size, and scale of the replacement shingles. There are several brands of synthetic slate roofing tiles that are appropriate for replacing historic slate.

For tile roofs:

- Replace any damaged or missing tiles with in-kind materials.
- Repair cracked tiles with roofing cement tinted to match the color of the tiles.



Example of an original dormer that should be



Replacing a dormer window with a louvers is an unacceptable change.



- If full replacement is necessary, select tiles that match in color, shape, scale, and size to the historic roof.

For asbestos shingle roofs:

- Asbestos roofing requires a certified asbestos contractor. For more information, please see appendix on environmental considerations.
- Replace or reattach any loose or rusted nails keeping the shingles attached to the roof.
- Replace any missing or damaged shingles with non-asbestos shingles that match in general appearance, size, and shape.
- If the entire roof requires replacement, ensure removal and disposal of the asbestos shingles are undertaken in compliance with local and environmental regulations.

For asphalt shingle roofs:

- Replace any missing or damaged asphalt shingles with shingles that match in size and appearance.
- Replace or reattach any loose nails keeping the shingles attached to the roof.
- If the entire roof requires replacement, select asphalt shingles of similar size, color, and appearance as the previous roof.



Asbestos roofs require special consideration when removed.

For metal roofs:

- Repaint as needed to provide protection to the underlying materials and prevent rust.
- For any rusted or corroded spots, patch the area with compatible materials that visually resemble the historic roofing materials.
- Patch any holes or gaps in the material.

For chimneys:

- Removal is not appropriate unless the chimney is structurally compromised.
- If a chimney needs to be repaired, ensure any decorative details or components such as corbeling or decorative chimney pots, are maintained in place.
- Repoint open or weakened mortar joints.
- Patch any missing or deteriorated materials with compatible materials of the same color, texture, and general appearance.
- If removing a fireplace from the interior, it is not necessary and inappropriate to remove the chimney for that reason.



7. Exterior Cladding

Like the roof, the exterior cladding on your building not only functions to keep weather out but is also an important part of the historic appearance of the building. .

Characteristics

In keeping with the Secretary of Interior's *Standards for Rehabilitation*, the goal is to keep as much historic material as possible, repair as much as you can, and, if replacement is necessary, choose new materials that match in material and appearance. This guidance applies to any type of siding on the building, even if you have more than one type of siding.

If part of the exterior of the house has decorative features, such as wooden quoins or stucco scored to look like stone, any repairs or replacement projects must ensure those features are retained and replaced or replicated, as needed.

Replacing cladding with a different, historically-appropriate cladding material is an option if the cladding is sympathetic with your building's architectural style and/or historic evidence (such as an old photograph of the building) shows the material was present at one time. Methods of researching your historic building are available in Appendix B.

Paint

Paint plays an important part in protecting the exterior, particularly exterior woodwork from moisture, and can also serve to highlight key architectural features, such as decorative woodwork on a Queen Anne-style porch. Paint color is not part of these guidelines; that decision is left in the hands of the homeowner.

However, painting over previously unpainted masonry surfaces, such as a brick wall, is not acceptable.

Exterior Cladding Dos & Don'ts

- DO use replacement materials that match in size, shape, thickness, and general materials.
- DON'T encapsulate features under synthetic siding.
- DO replicate any distinctive shingle styles or patterns.
- DON'T use sandblasting, metal brushes, grinders or power washing to clean masonry.
- DO use mortar that matches in color and replicate historic mortar joints.
- DON'T install aluminum or vinyl siding.



If old and failing paint does need to be removed, use the gentlest means possible, particularly if the underlying material may be fragile. Removing failing paint by hand, such as with hand tools, moderate heat, steam, scraping and sanding, is recommended. Removing failing paint by sandblasting, blowtorches, or high-pressure water is strongly discouraged due to the potential risk to the historic materials. Do not use paint thinning solvents on painted wood. Solvents will significantly decrease the longevity of old-growth lumber.

Historic homes are likely to contain lead-based paint. Ensure removal is undertaken in compliance with local and environmental regulations. See appendix for resources on environmental regulations. Keep children and pets away from any paint removal projects and use caution around any dust generated by the removal process.

General Recommendations

For wooden siding:

- Do not encapsulate existing historic woodwork under synthetic siding, such as vinyl or aluminum.
- If a small area is damaged or rotted, patch as needed with wooden materials that match in size, shape, thickness, and general appearance. If the siding has a distinctive feature, such as a clapboard with a beaded edge, ensure that feature is replicated on any replacement materials.
- Ensure any patch or repair of wooden shingles replicates the historic pattern or configuration.
- Any replacement shingles should also match in general appearance, materials, shape, size, and thickness as the historic shingles.
- If full replacement of the exterior woodwork is required, the new siding treatment should replicate the existing woodwork in size, shape, profile, and appearance. It should be installed to match the historic pattern and orientation. Never replace shingle siding with lap siding.
- Prioritize using decay-resistant woods, such as cedar or salvaged cypress.

For masonry:

- Bricks
 - If bricks are missing or damaged, replace with bricks of same size, appearance, and shape as the historic bricks.
 - Clean bricks with mild detergent and soft brush. Avoid cleaning a brick wall with sandblasting, metal brushes or grinders, or power washing.
 - Avoid painting a previously unpainted brick surface.
- Concrete Block
 - Replace any missing or damaged concrete blocks with blocks of the same size, appearance, and shape as the historic blocks.
 - Avoid painting a previously unpainted concrete block wall.
- Mortar



Lafayette Historic District Design Guidelines: Exterior Cladding

- Never use new mortar compositions on older brick. Ensure the mortar mix is compatible with the age of the brick and existing mortar by consulting a historic mortar mix professional.
- Remove any loose or powdery mortar with the gentlest means possible, such as hand tools.
- Ensure any repointing matches the historic mortar in color and joint profile.
- Do not alter the width of the mortar joints during the course of a repointing project.
- Match new mortar to an area of clean, historic mortar and not discolored or dirty mortar to ensure the mortar will be visually consistent if the building is cleaned in the future.

For stucco:

- Patch exterior stucco to the extent feasible. Ensure all patches match in general appearance to the historic stucco finishes.
- Avoid adding a coat of stucco to a surface that previously did not have a stucco coating.
- If historic research suggests a building previously had an exterior coating of stucco, a historically appropriate stucco mix is the best option for replicating the historic appearance of the building.
- Avoid installation of a synthetic stucco system, or Exterior Insulation and Finish System (EIFS). These materials trap moisture and can exacerbate decay of historic building materials.

For asbestos shingles:

- Replace or reattach any loose or rusted nails keeping the shingles attached to the wall.
- Replace any missing or damaged shingles with non-asbestos shingles that match in general appearance, size, and shape.
- If the asbestos shingles are removed, ensure removal and disposal of the asbestos shingles are undertaken in compliance with local and environmental regulations.

For synthetic (vinyl / aluminum) siding:

- Installation of vinyl or aluminum siding to a historic building is not allowed unless there is a demonstrated historically significant association with the historic building or neighborhood.
- Removal of vinyl or aluminum siding and repairing or replacing historic exterior siding is strongly encouraged.



8. Windows & Doors

Windows and doors reflect the historic period in which the building was constructed. They have distinctive features and characteristics that contribute towards the overall architectural style of the house.

Characteristics

Historic houses typically have wood windows. These windows can be casement, triple-hung sash, or awning types, but double-hung sash windows are typically the most common found in historic homes in the Lafayette area. These windows may have a variety of configurations, such as 1-over-1 with a round head in an Italianate-style house, a 6-over-1 in a Craftsman-style house, or a 6-over-6 in a Greek Revival-style house. Even the appearance of the mullions, muntins, and windows frames are part of the history of the building. All of these components are important parts of your historic windows.

Wooden doors are also key components of historic houses. They, too, carry significant architectural details that contribute towards the historic architectural style of the building. Glazing, paneling, decorative features, sidelights, and transom lights all are significant components of a historic door.

Replacing windows and/or doors with a different, historically-appropriate feature is an option if the selected replacement is sympathetic with your building's architectural style and/or historic evidence (such as an old photograph of the building) shows a similar feature was present at one time. Methods of researching your historic building are available in Appendix B.

Windows & Doors Dos & Don'ts

- DO repair, instead of replace, historic windows and doors.
- DO choose a salvaged door or window if the original cannot be repaired.
- DON'T change the type or size of window or door.
- DON'T install glass on a door that previously did not have it.
- DO match shutters to the window openings.



Repair of wooden windows

Wooden windows components can often be easily repaired, thus avoiding replacement of entire windows. Cracked and broken glass, missing glazing putty, and rotten mullions can be repaired. If one sash of a double-hung sash windows is irretrievably damaged, that sash can be replaced with a sash of similar appearance, ensuring the other historic components of the window remain.

Routine maintenance of historic wood windows will contribute towards the longevity of your wooden windows. Monitoring for rot, insect damage, missing glazing putty, or cracked panes of glass and addressing any damaged or broken windows parts will keep your windows functional for years.

Finding replacements

Replacement windows and doors bought off the shelf from big box home improvement stores are generally not going to match the historic architecture of the building. These windows and doors are typically the wrong size, unsympathetic in appearance, and built of incompatible materials. If a historic door or window has deteriorated to such a degree that replacement is the only option, a salvaged door or window of similar size, shape, type, and configuration is the preferred option.

However, if a salvaged architectural element cannot be located, any new windows or doors should match in size, shape, type, and general appearance to the historic components of the house. Door and window openings should not be altered to accommodate new doors and windows.

General Recommendations

For windows:

- Repair, instead of replace, historic windows.
- Replacement window glass should be clear or frosted unless replacing historic colored or beveled glass.
- Replace glazing putty if missing or deteriorated.
- If replacing windows cannot be avoided, prioritize selecting a salvaged window of the same size, material, and appearance as the original windows.
- If an appropriate salvaged window cannot be located, choose high quality replacement windows. The replacement window must match the size, appearance and profile of the original window.
- Maintain the same position within the wall with replacement windows. The new windows should not sit flush with the exterior wall if the historic windows were set back.
- Retain the historic trim, hardware, windowsill, drip cap, and other historic features as part of a window replacement project.
- Do not alter the size or shape of a window opening to accommodate a replacement window, including the addition of infill panels between a smaller new window and the historic opening.
- Do not change the type of window, i.e. a fixed window in place of a casement window.
- Do not change the shape of a window, i.e. a bow window in place of a double-hung sash.



Lafayette Historic District Design Guidelines: Windows & Doors

- Installation of vinyl or aluminum replacement windows is generally incompatible with historic buildings. For more information, see the guidelines for your specific historic neighborhood.
- Installation of blackout or mirrored privacy films to historic windows is not appropriate.

For doors:

- Repair, instead of replace, historic doors.
- If a historic door cannot be repaired, prioritize selecting a salvaged door of the same size, thickness, appearance, configuration, design, and material as the historic door.
- If an appropriate salvaged door cannot be located, choose a high-quality wooden door that matches the historic door in size, appearance, configuration, profile, and detailing.
- If using a salvaged or new replacement door, reuse the historic hardware and trim to the extent feasible.
- Do not install colored or beveled glass in a historic door that previously did not have it.
- Avoid altering the size or shape of a doorway to accommodate a salvaged or new door.
- Do not remove historic trim to accommodate a salvaged or new door.
- If you have two matching door openings on the façade, such as on a duplex or double shotgun, both doorways and doors should be retained.

For shutters:

- Avoid installation of fixed shutters.
- Avoid installing shutters that do not fit the character of a historic building.
- Ensure any replacement shutters match the window shape, size, and opening, i.e. don't use shutters that are too small or shutters with a flat top on an arched opening.
- Ensure shutters are operable.
- Avoid roll-down hurricane shutters.

For awnings:

- Retain awnings on historic buildings if they are of appropriate age, style, and scale with the historic architectural style.
- Replacement awnings should match in shape, material, scale, and placement on façade with the historic awnings.
- Utilize historic images to demonstrate that awnings are appropriate for the building .



9. Porches

Porches, balconies, and galleries are hallmark of historic Louisiana architecture, particularly for historic buildings constructed before the widespread use of air conditioning.

General Recommendations

- Do not enclose a porch to create additional interior space for your building, particularly for a porch that is visible from the right-of-way.
- A porch can be enclosed with screening as long as the installation takes into account the historic character of the porch. The screens should minimize the visual change to the porch, such as set behind railings or columns so the historic features remain the most prominent feature. The screen door should be designed to blend with the scale and architecture of the historic building.
- Avoid lowering the porch floor to grade.
- Repair any damaged or missing porch components with materials of the same general appearance, size, and shape.
- If a column has deteriorated to the point it must be replaced, ensure the new column matches the historic column in appearance, shape, size, and architectural characteristics. Do not replace a historic column with one of a different height or architectural style.
- Rebuilding or replacing missing porches should reference the original architecture of the building in terms of scale, design, and architectural features. If historic images of the historic porch are not available, reference similar architecture in the neighborhood to design replacement porches and similar features.

Porch Dos & Don'ts

- DON'T enclose a porch.
- DON'T lower the porch floor to grade.
- DO repair any missing or damaged components with materials of the same size, type, and appearance.
- DON'T replace wooden columns with metal posts.
- DO avoid flood lights and fluorescent tube lighting.



Porch floor removed and lowered to grade is an inappropriate alteration.



Lafayette Consolidated Government

Lafayette Preservation Commission

Lafayette Historic District Design Guidelines: Porches

- Do not replace wooden columns or railings with metal or synthetic materials.
- When installing new light fixtures on the porch, avoid flood lights and fluorescent tube lighting. Select lighting in keeping with historic character and scale of the house.
- Bug lights or zapping fixtures are not appropriate for any portion of the building that can be seen from the street.



10. Architectural Details

The hallmarks of many historic architectural styles are contained in the decorative features on the exterior of the buildings, such as quoins, fretwork, spindles, brackets, and in many cases, exposed structural elements. While these components may seem insignificant when compared to a roof or siding, these elements are—important elements and require consideration in the appropriate treatment of your historic building.



Architectural Details Dos & Don'ts

- DON'T remove any historic brackets, quoins, and other features.
- DO replace them in the same location and orientation if temporary removal occurs.
- DON'T encapsulate them under siding or other materials.

Original bracket circled in yellow and replacement brackets circled in red. The replacement brackets do not match the original bracket in type or appearance.

General recommendations

- Do not permanently remove any historic architectural details to accommodate projects, for example, replacing siding should not result in the removal of quoins.
- If architectural details have to be temporarily removed to accommodate work, replace them in the same location and orientation.
- If architectural details are deteriorated and require replacement, replace the element with one of similar profile, size, shape, and general appearance.
- Do not encapsulate architectural details under siding or materials.
- If an architectural element is missing, use a replacement, preferably a salvaged piece that matches in period and style-appropriate characteristics and appearance.



11. Site Elements

Site elements are the components on the property, such as garages, driveways, and fences, that contribute to the setting of the historic building and the general historic character of the neighborhood. The following recommendations provide a framework to ensure a compatible relationship between your property and the surrounding neighborhood.

General Recommendations

For garages and carports:

- If your property has a historic garage or carport, treat these secondary buildings as you would the main house.
- If you are adding a garage or carport, design the new component to visually blend with the historic house, such as using similar exterior materials.
- Locate any new detached garages to the side or rear of the house.
- Avoid attaching a new garage or carport to a historic house unless appropriate to the building's age and historic architecture.

For small structures (such as garden sheds, play houses, dog houses, etc.):

- Prioritize the placement of these structures to the rear of the property and not visible from the public right-of-way.
- If the structure is visible from the right-of-way, use building materials that similar to the characteristics of the main house.

For driveways:

- Minimize the extent of paving on a historic property.
- Narrow parking strips are encouraged instead of wide or enlarged driveways or parking pads.

For landscaping:

- Retain and maintain existing historic trees and shrubbery.
- Do not obscure the view of the primary facades behind excessive or large vegetation.
- Vegetation can be used to minimize visual intrusions.



For new fencing:

- Any new fencing should take into consideration the historic character of the neighborhood, including materials, scale, picket design, and height.
- Designs for any new fencing should be historically consistent with the design of the main building.
- Fencing over 42" in height, located between the street and primary building facades is not appropriate.
- Avoid removing any existing historic fencing; opt to repair any damaged or deteriorated pickets or fence components.
- Vinyl/synthetic materials, stockade-type fences, barbed wire / concertina wire / razor wire or similar security measures, or exposed concrete block wall fences are inappropriate.
- Solid walls that block or conceal the primary façades from the public right-of-way are not appropriate.

For miscellaneous site components (non-historic site elements such as gazebos, children's play equipment, hot tubs, etc.):

- Owners are encouraged to locate these features in the rear of the property to minimize visibility from the public right-of-way.



12. New Construction & Additions

Certain design aspects should be taken into consideration when planning for an addition to a historic house or for new construction in a historic district. Copying historic architecture is not the goal of the Lafayette Preservation Commission for new construction. But taking into account certain architectural character and features of the neighborhood will ensure the construction will fit within and enhance the historic context of the neighborhood.

General Recommendations

For new construction:

- Avoid new construction that is noticeably larger, taller, narrower, or wider than the nearby historic buildings.
- Reference historic buildings along the streetscape within the block and within the district to identify sympathetic design features, such as roof shapes, footprints, main entrance delineations, materials, window and door patterns, and proportions.
- Always avoid referencing architecture of non-historic buildings in the neighborhood.
- Place the new building at the same setback as the adjacent historic properties.
- Place the primary façade and main entrance parallel with the primary street and similar to adjacent properties.
- Avoid duplicating historic buildings and historic detailing. Avoid a false historic character or an imitation of an earlier or later historic style.
- Choose window and door configurations that fit with the appearance of historic buildings within the district.

New Construction & Additions Dos & Don'ts

- DO reference historic buildings in the neighborhood for new construction details.
- DON'T construct a new building that is noticeably taller, larger, narrower, or wider than other buildings in the neighborhood.
- DO use the same setback as adjacent properties.
- DON'T build a false historic building.
- DO maintain the historic character of the property with the materials selected for an addition.
- DO avoid damaging, removing, or hiding any important architectural details.



Lafayette Historic District Design Guidelines: New Construction & Additions

For additions:

- Maintain the historic character by keeping similar proportions, cladding, and general appearance as the historic building.
- Avoid damaging, hiding, or demolishing important architectural details with the construction of an addition.
- Design an addition of similar size and scale as the historic building; do not dwarf the historic building with the addition.
- Minimize visual intrusions, including mechanical equipment, from the right-of-way. Walls, fences, and other landscape features can be used to help screen the addition from the right-of-way.
- Do not add walls, fences or screens that have a setback different from adjacent buildings.
- Locate tall additions, such as camelbacks, away from the right-of-way.
- Additions to the main façade of the building and facades that are visible from the street are inappropriate.
- Do not add manufactured historic components to a historic building that did not have these pieces originally, i.e. do not add a double gallery to a building that never had one.
- Avoid creating a manufactured historic appearance.
- Do not use imitation materials that replicate historic materials, i.e. vinyl siding for wooden clapboards.



13. Demolition

The demolition of a historic building is rarely appropriate; demolition contributes to the deterioration of historic character of a historic district and the loss of a part of Lafayette's significant history. Historic buildings are constructed with materials and craftsmanship that cannot be replicated at a later date. Historic materials generally have longevity and resiliency to the conditions of south Louisiana that newer materials cannot match.

Criteria for Demolition

The Lafayette Preservation Commission will take into consideration the following criteria when evaluating a building for demolition:

- The historic, architectural, or cultural significance of the building or structure
- The importance of the property to the historic district
- If the property is a local historic property, cultural resource, landmark or on the National Register of Historic Places
- If the building or structure is the last remaining example in the district
- Alternatives to demolition have been considered by the owner
- The impact of the post-demolition plans on the surrounding area
- If reasonable measures can be undertaken to save the historic property from collapse
- The difficulty of reproducing the building or structure due to materials, architectural details, or design
- Condition of the building
- Impact of the demolition on the historic district and the surrounding area
- Proposed future use of the site

General Recommendations

- Exhaust all other options before pursuing demolition.
- Salvage and donate historic architectural materials for reuse.
- Develop a compatible plan for redevelopment of the property.
- Maintain the site between demolition and new construction.



Lafayette Historic District Design Guidelines: Appendix A – Application Form

Appendix A: Application Form for Certificate of Appropriateness **General Instructions**

Nature of Certificates of Appropriateness (COA)

This application for COA is issued in accordance with the Lafayette Development Code in Article 3, Section 89-34 and Article 4, Sections 89-70 & 71, and the laws, ordinances, and regulations enforced by Lafayette Consolidated Government (LCG) Community Development & Planning (CDP) Department.

No Building permit shall be issued and no proposed work shall be started until Certificate of Appropriateness has first been issued by the Lafayette Consolidated Government.

Definition of Historic District Overlay:

- ***Historic District*** –a geographically definable area that has been deemed worthy of protection by Lafayette Historic Preservation Commission and approved by Council, whose properties, buildings, structures sites, monuments and objects are united by past events or aesthetically by plan or physical development. A district may also comprise individual elements separated geographically but linked by association or historic context. Historic District shall further mean an area designated by the Lafayette Historic Preservation Commission and regulated by the criteria and standards for approval established in the Lafayette Development Code in Article 3, Section 89-34 and Article 4, Sections 89-70 & 71.

Application

Application acceptance date is when all of the required information is submitted, and the Community Development and Planning Department's Planning Division concurs that the information submitted is sufficient for review. Prior to submitting an application, applicants are encouraged to request assistance from the staff of the Lafayette Historic Preservation Commission: historicpreservation@lafayettela.gov

| (337) 291-7193 | (337) 291-7359.

Fees

No fees are required.

Schedule

Reviews for minor work can be made by staff within 2-7 days of completed application submittal. Reviews for major work are scheduled to be heard by the Commission once monthly. See deadlines for application acceptance at the end of this document. Minor work and major work descriptions are listed in the chart on the following pages.

Meeting Attendance

Applicants and/or historic property owners may be required to attend Lafayette Historic Preservation Commission hearings for the purposes of discussing compliance considerations with the Commission as applicable. Commission meetings are open to the public. For meeting information call the number below or visit www.lafayettela.gov



Minor Work and Major Work

Description of Work Requiring a Certificate of Appropriateness (COA)	Minor Work Administrative Review: To be completed by staff 2-7 days after receipt of completed application.	Major Work Commission Review: To be heard by Commission within 45 days of receipt of completed application.
Replacing exterior finishes and materials with in-kind replacements	Minor Work	
Repairing a porch with in-kind materials	Minor Work	
Replacing roof materials with in-kind materials	Minor Work	
Additions or changes to a secondary building that cannot be seen from the street	Minor Work	
Removing non-historic materials and replacing with appropriate materials, such as removal of vinyl siding	Minor Work (depending on the scope)	Major Work (depending on the scope)
New construction		Major Work
Adding, resizing or relocating a window opening, door opening, part or all of a structure, building, object, site work, or area		Major Work



Lafayette Historic District Design Guidelines: Appendix A – Application Form

Description of Work Requiring a Certificate of Appropriateness (COA)	Minor Work Administrative Review: To be completed by staff 2-7 days after receipt of completed application.	Major Work Commission Review: To be heard by Commission within 45 days of receipt of completed application.
Replacing windows and exterior doors		Major Work
Demolition or removal of all or part of a structure, building, object, site work, or area		Major Work
Adding a driveway		Major Work
Changing the shape of the roof, adding to or deleting from a roof		Major Work
Restoration of original features that no longer exist, such as a dormer, window, or chimney with in-kind materials		Major Work
Material change to exterior finishes or painting concrete, masonry, brick or stone		Major Work
Installation of gutters		Major Work



Lafayette Historic District Design Guidelines: Appendix A – Application Form

Application Form – Certificate of Appropriateness (COA)

1. Name of property owner(s):

Mailing address: _____

City, state, zip code: _____

Telephone number: _____ Email: _____

2. Name of applicant: _____

Mailing address: _____

City, state, zip code: _____

Telephone number: _____ Email: _____

3. Address, boundaries, or legal description of property, whichever is applicable

READ THIS PACKET – This packet contains information necessary for a successful application.

BEFORE SUBMITTING AN APPLICATION: Applicants are encouraged to have an initial conversation with Planning Division staff prior to completing design development and/or construction documents. Contact staff at 337-291-7193 or historicpreservation@Lafayettela.gov. It is important that owner and applicant understand the guidelines that dictate their building's standards for historic rehabilitation, as well as application deadlines and Lafayette Development Code procedures for review and approval.



Lafayette Historic District Design Guidelines: Appendix A – Application Form

4. Under the provisions of the Lafayette Development Code (LDC) applicants must verify that the following items are included in the application by checking the boxes below. The following items and additional required items that may be requested by CDP Planning Division must be submitted in order for application to be considered accepted for review.

☐ [] scaled site plan and description of proposed work

☐ [] current legal description of property

☐ [] ownership verification/owner's consent letter/buy-sell agreement

5. Drawings, photos and information that is are often required for the application to be accepted depends on the proposed scope of work. See check boxes below for generally requested items.

- ☐ Current photographs with photo locations shown on a keyed map. Photos of the site or property and buildings are usually required. Photos of adjacent properties may be required. Historical photographs may be required or applicable.
- ☐ Scaled elevation drawings of the structure and the proposed changes showing all sides of the building or structure which are visible by pedestrians from any public street, sidewalk or pathway. Building material schedules must include all facade materials: foundation, walls, trim, roofing, windows, and doors.
- ☐ Legible, scaled site plan drawing detailing the placement of the buildings, structures, objects, areas, and showing any proposed demolition and/or construction on the property.
- ☐ Samples of materials to be used and/or product brochures.
- ☐ If the proposal includes any signs or lettering, a scaled drawing showing the type and placement of lettering to be used, all dimensions and colors, a description of materials to be used, method of installation, illumination (if any), and dimensions showing the sign's location on the property.
- ☐ Other clarifying information that Commission staff may deem necessary in order to discern details about the proposed work.
- ☐ Follow these guidelines for submitting drawings where applicable:
 - a) Regarding the scale of site plan, elevation & plan drawings: Scale must be a *standard scale*, legible at the scale submitted. Examples are: 1/8" = 1'-0" or 1" = 20" or similar.
 - b) Show appearance and dimensions of building(s) and structure(s). Make sure to clearly distinguish between proposed construction and proposed demolition vs. proposed existing to remain in place.
 - c) Show the dimensions of property lines and land uses on adjacent properties.
 - d) Show all streets and driveways.
 - e) Provide dimensions of setbacks of building(s) and structure(s) from each lot line.
 - f) Show proposed and/or existing curb cuts, parking facilities, & buffering.



Lafayette Historic District Design Guidelines: Appendix A – Application Form

Verification of property ownership

Owner hereby certifies that he is the owner of the subject property, and owner, and owner's authorized agent, if applicable, declares that the statements made on this application are true and correct to the best of his/her knowledge and that the work shall comply with all Lafayette Consolidated Government Regulations and Ordinances. When signed below by owner, any Agent herein below designated is hereby appointed by owner and agrees to represent the owner(s) to the CDPD Planning Division and the Lafayette Historic Preservation Commission and, if applicable, at the hearing scheduled for consideration of this application.

Owner's Signature _____

Print Name: _____

Date _____ Witness _____

Applicant/Authorized Agent's Signature _____

Print Name: _____

Date _____ Witness _____



Lafayette Historic District Design Guidelines: Appendix A – Application Form

Examples of construction documents that may be required for a complete application

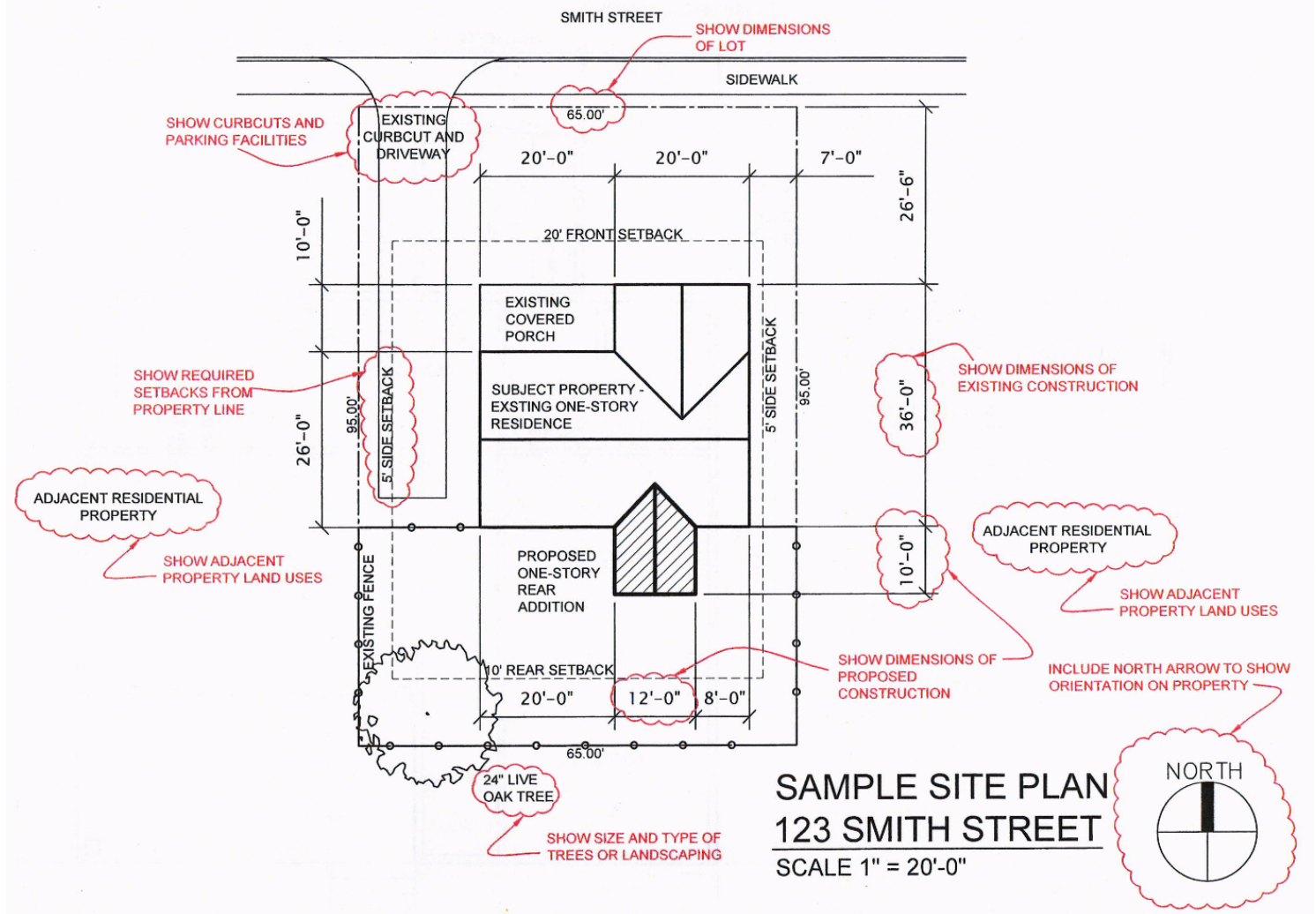
The following are sample schedules and drawings with text that demonstrate the type of submittals that may be required for this application.

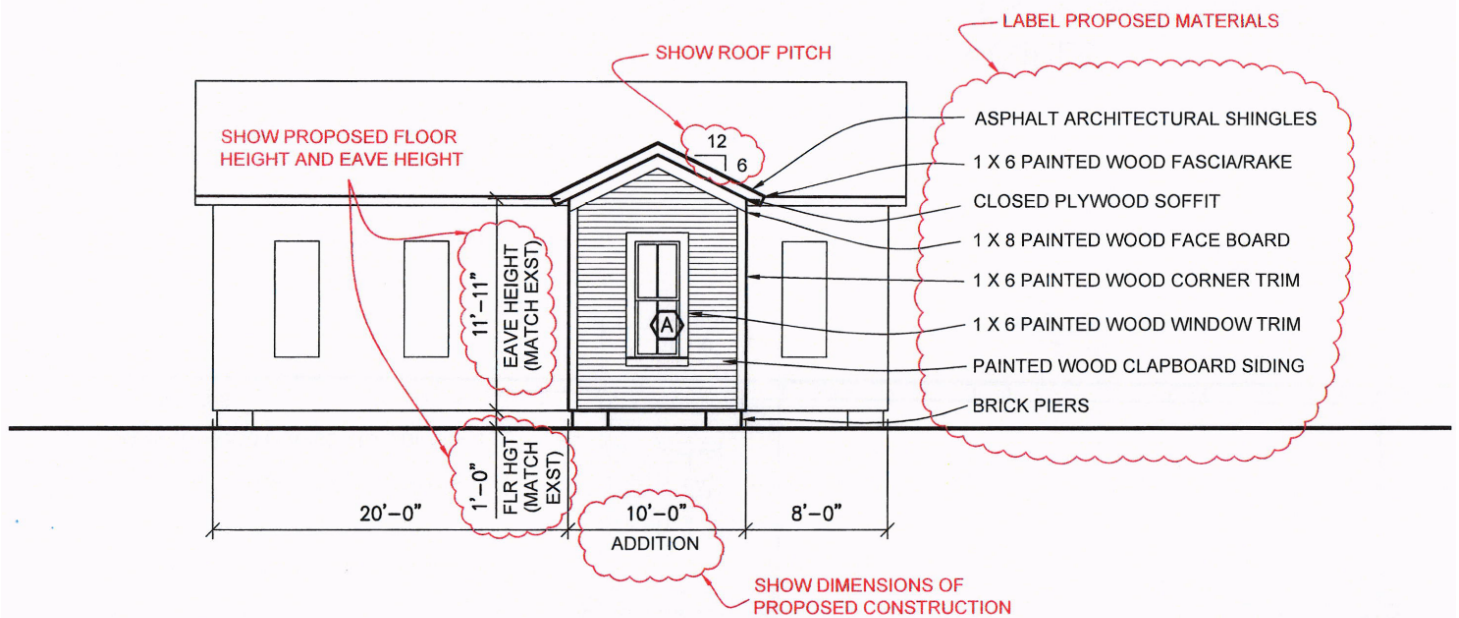
SAMPLE SCHEDULES

BUILDING MATERIAL SCHEDULE	
BUILDING ELEMENT	MATERIAL
FOUNDATION	PIER AND BEAM FOUNDATION WITH BRICK PIERS TO MATCH EXISTING RESIDENCE
WALLS	PAINTED WOOD CLAPBOARD SIDING WITH 4" REVEAL TO MATCH EXISTING RESIDENCE
DOOR AND WINDOW TRIM	1 X 6 PAINTED WOOD TRIM TO MATCH EXISTING RESIDENCE
CORNER TRIM	1 X 6 PAINTED WOOD TRIM TO MATCH EXISTING RESIDENCE
FACE BOARD	1 X 8 PAINTED WOOD TRIM TO MATCH EXISTING RESIDENCE
SOFFIT	PAINTED PLYWOOD - CLOSED SOFFIT
FASCIA/RAKE	1 X 6 PAINTED WOOD TRIM TO MATCH EXISTING RESIDENCE
ROOF	ASPHALT ARCHITECTURAL SHINGLES TO MATCH EXISTING RESIDENCE

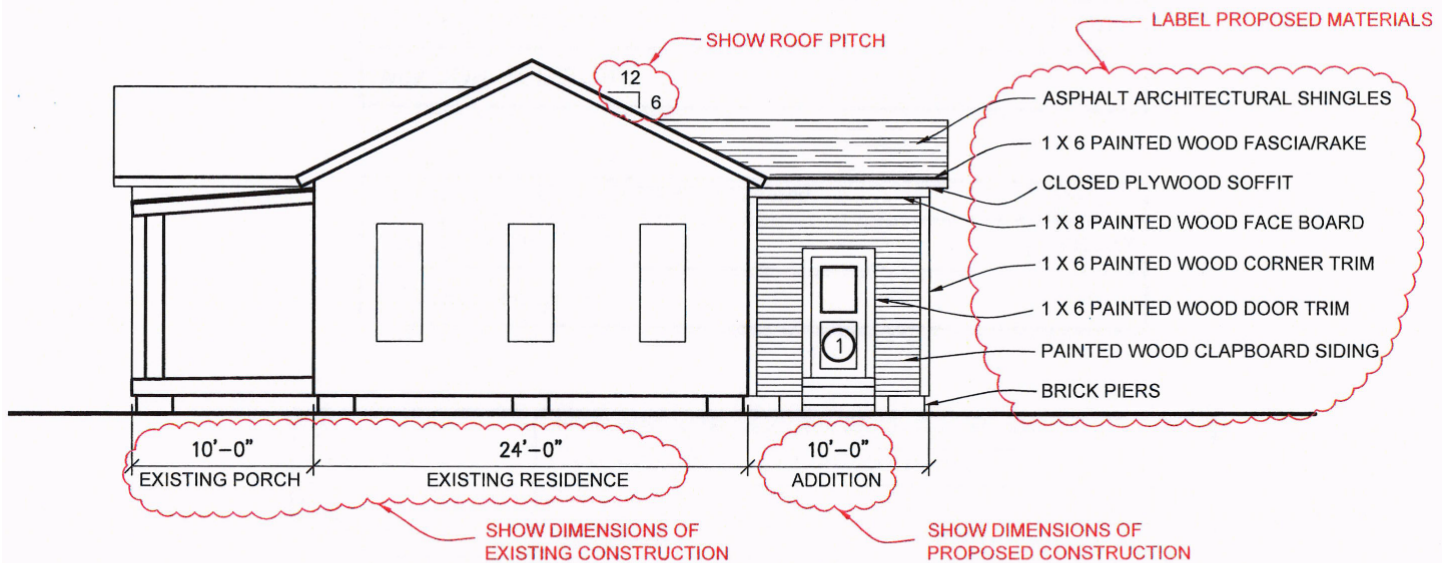
DOOR SCHEDULE		
DOOR #	DESCRIPTION	MATERIAL
1	3'-0" X 6'-8" 1/2 LITE DOOR WITH RAISED PANEL	PAINTED WOOD

WINDOW SCHEDULE		
WINDOW	DESCRIPTION	MATERIAL
A	2'-6" X 6'-6" WOOD WINDOW W/ 2 OVER 2 LITES TO MATCH EXISTING	PAINTED WOOD
B	2'-6" X 6'-6" WOOD WINDOW W/ 2 OVER 2 LITES TO MATCH EXISTING	PAINTED WOOD

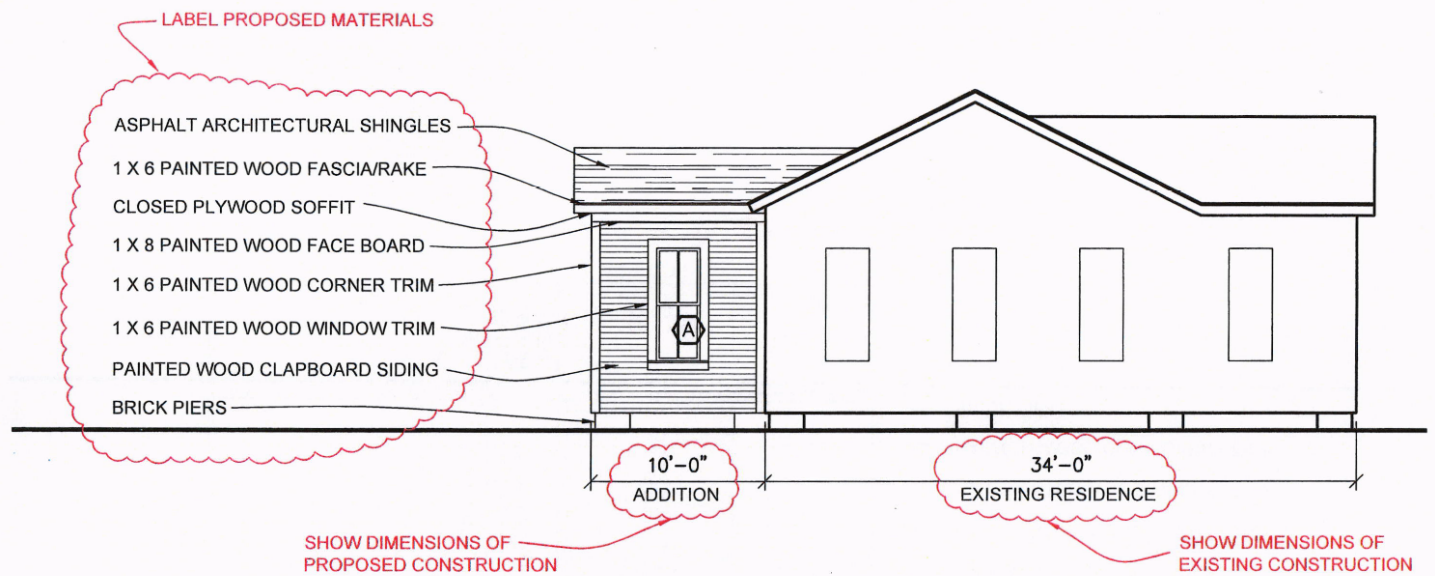




SAMPLE
SOUTH ELEVATION
SCALE 1/8" = 1'-0"

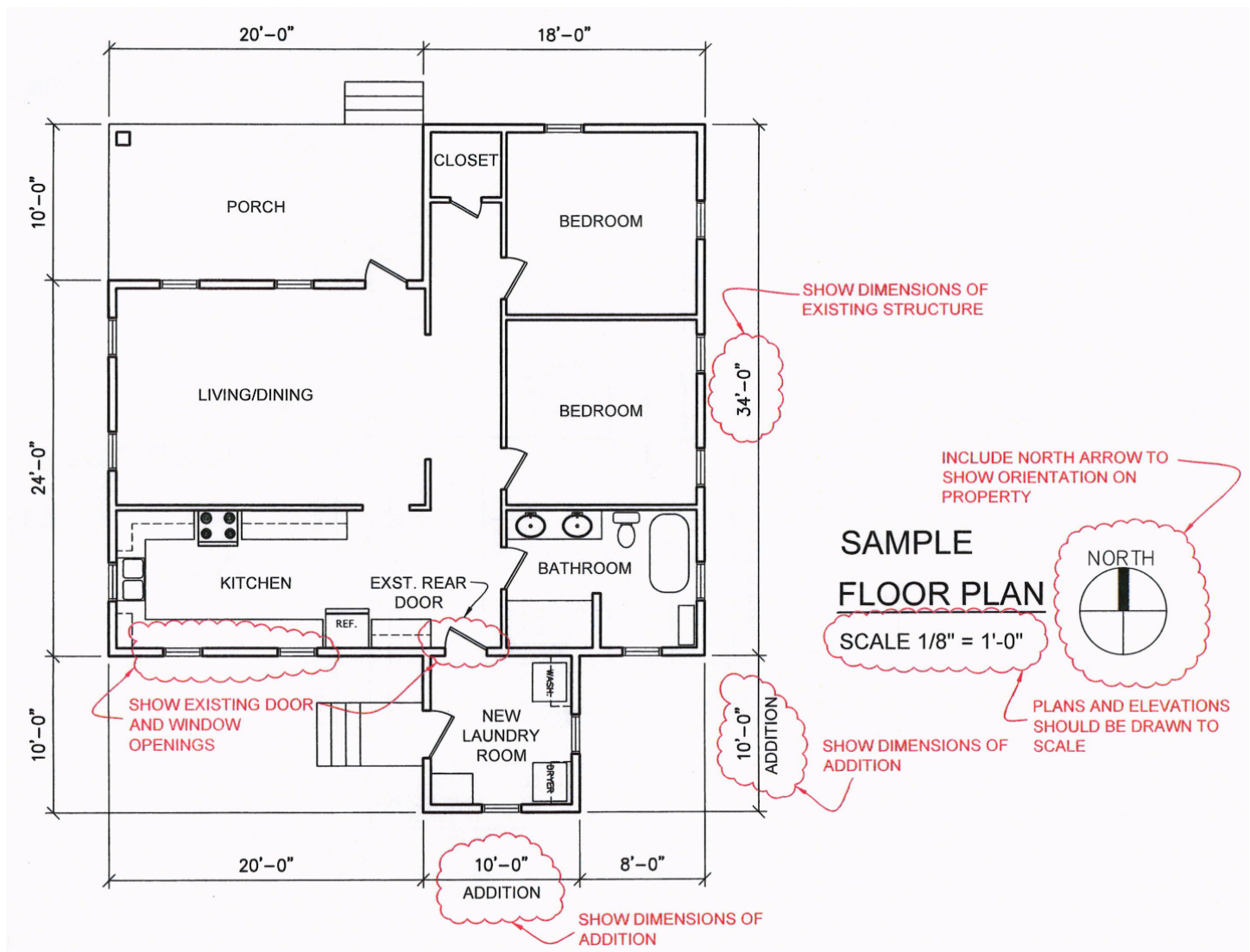


SAMPLE
WEST ELEVATION
SCALE 1/8" = 1'-0"



**SAMPLE
EAST ELEVATION**

SCALE 1/8" = 1'-0"





Lafayette Historic District Design Guidelines: Appendix A – Application Form

LHPC - Lafayette Historic Preservation Commission Application Acceptance Deadlines

Regular meetings are scheduled monthly on the third Thursday.

LHPC Meeting Date	Application Acceptance Deadline
Thursday, August 15, 2024	Thursday, July 18, 2024
Thursday, September 19, 2024	Thursday, August 22, 2024
Thursday, October 17, 2024	Thursday, September 19, 2024
Thursday, November 21, 2024	Thursday, October 24, 2024
Thursday, December 19, 2024	Thursday, November 21, 2024
Thursday, January 16, 2025	Thursday, December 19, 2024
Thursday, February 20, 2025	Thursday, January 23, 2025
Thursday, March 20, 2025	Thursday, February 20, 2025
Thursday, April 17, 2025	Thursday, March 20, 2025
Thursday, May 15, 2025	Thursday, April 17, 2025
Thursday, June 19, 2025	Thursday, May 22, 2025
Thursday, July 17, 2025	Thursday, June 19, 2025
Thursday, August 21, 2025	Thursday, July 24, 2025
Thursday, September 18, 2025	Thursday, August 21, 2025
Thursday, October 16, 2025	Thursday, September 18, 2025
Thursday, November 20, 2025	Thursday, October 23, 2025
Thursday, December 18, 2025	Thursday, November 20, 2025



Lafayette Historic District Design Guidelines: Appendix B – Resources

The following list of resources provides sources for appropriate replacement and salvage materials and more information on specific preservation-related issues. This list is by no means exhaustive nor are homeowners required to source materials from the following stores and retailers for their projects. Inclusion on this list should not be considered an endorsement by the Lafayette Preservation Commission. Utilizing materials from the following stores and retailers does not imply approval by the Commission; this list is provided as a courtesy for those looking to obtain services or materials, and will be updated periodically. Contact the Lafayette Preservation Commission staff for consideration in adding or removing providers of services and/or materials at historicpreservation@lafayettela.gov.

For Information about how to maintain/repair/replace historic windows:

<https://forum.savingplaces.org/viewdocument/historic-window-maintenance-hope-c>

<https://forum.savingplaces.org/viewdocument/replacement-windows-for-historic-bu>

For architectural salvage:

[Jim's Antique Doors & More](#) (Rayne): Source for wooden, glazed, and iron doors.

[The Green Project](#) (New Orleans): Salvage store with windows, doors, mantels, tiles, cabinets, tubs, light fixtures, roofing, siding, and more. Also works with the Preservation Resource Center of New Orleans for architectural salvage.

[Ricca's](#) (New Orleans): Source for historic doors, windows, mantels, stained glass, hardware, and other pieces.

[The Corbel](#) (Jackson, LA): Source for historic doors, woodwork, brackets, and other salvaged pieces.

For historic window and door repair:

Clyde and Tennille Poche (Lafayette): historic window repair/rebuilding expertise, 337.224.7166

[Window Preservation Alliance Directory](#)

[Staub Window Restorations](#) (New Orleans)

[NOLA Wood Windows](#) (New Orleans): Also restores / repairs doors and shutters.



For reproduction hardware:

[Historic Houseparts](#)

[Charleston Hardware Co.](#)

[Van Dyke's Restorers](#)

[House of Antique Hardware](#)

[Vintage Hardware & Lighting](#)

For reproduction wooden windows:

[Heirloom Windows](#)

[Architectural Components](#)

[Pella](#)

For reproduction wooden doors:

[Lafayette Wood-Works](#) (Lafayette)

[Marvin](#)

[Architectural Components](#)

Paint resources:

Benjamin Moore: Partnered with the National Trust for Historic Preservation to offer appropriate colors for historic architecture. More info [here](#).

Preservation Briefs:

The Preservation Briefs, published by the National Park Service, provide information on common issues with historic buildings and include methods for repair that retain the historic character of the building. Selected Preservation Briefs are linked below, the full list is [here](#).



Lafayette Consolidated Government

Lafayette Historic Preservation Commission

Lafayette Historic District Design Guidelines: Appendix B – Resources

[Repointing Mortar Joints in Historic Masonry Buildings](#)

[Improving Energy Efficiency in Historic Buildings](#)

[Roofing for Historic Buildings](#)

[Repair of Historic Wooden Windows](#)

[Exterior Paint Problems on Historic Woodwork](#)

[New Exterior Additions of Historic Buildings](#)

[Repairing Historic Flat Plaster – Walls and Ceilings](#)

[The Preservation and Repair of Historic Stucco](#)

[The Repair, Replacement, and Maintenance of Historic Slate Roofs](#)

[The Preservation and Repair of Historic Clay Tile Roofs](#)

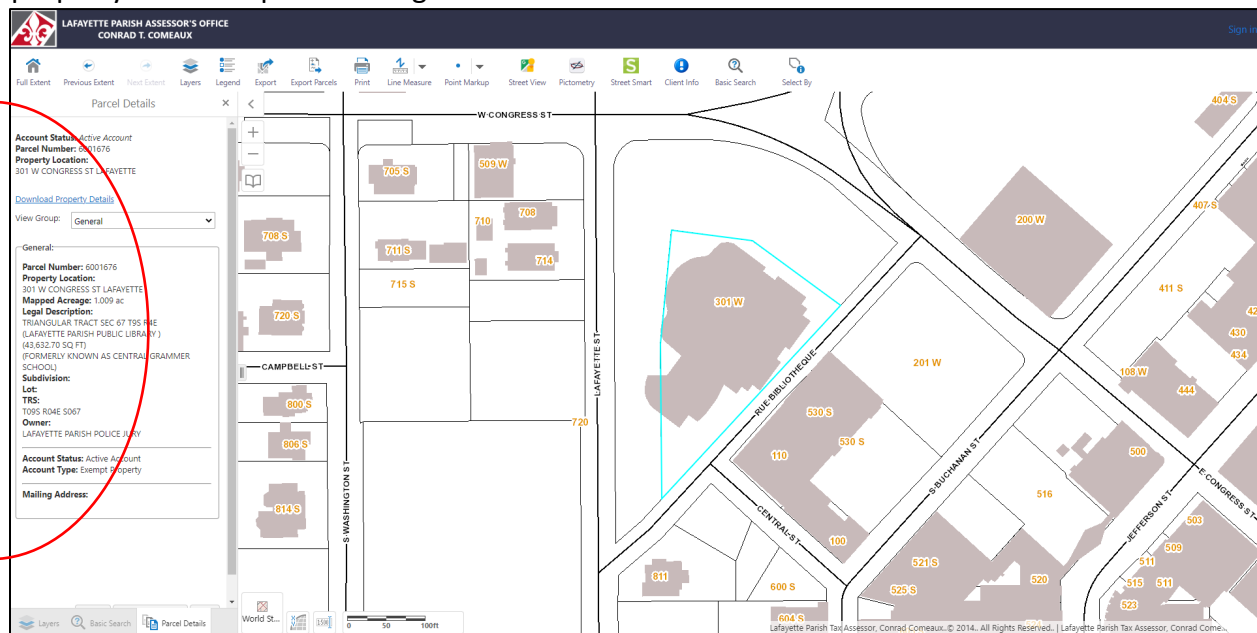
[Preserving Wooden Porches](#)



Appendix B: Historic Research How to Research the History of Your Property in Lafayette

Researching a property can provide valuable information on the previous appearance, use, and residency of a property. This data can be used to determine an appropriate rehabilitation project or may teach the researcher about important personages in local history. There is no guarantee that photos or plans will be available for every property. Document your research in writing, even sources that do not provide information.

1. **Check the National Register of Historic Places Nomination:** The Louisiana State Historic Preservation Officer maintains a database of all National Register of Historic Places-listed properties in the state. This [database](#)⁴ is searchable. If your property is in a National Register Historic District, there may be photos or a description in the nomination.
2. **Find your legal property description:** The deed to your property will include a legal property description or you can find the information online through the Lafayette Parish Assessor's Office. The office's [online map](#)⁵ is searchable by address or owner name. Once you locate the property, you will find a legal description of the property. This will include important information about the township/section/range of the property; its former or current subdivision, if any; and the current legal owner. You can match the legal description against historic descriptions of the property to continue your research in the event the property once was part of a larger one.



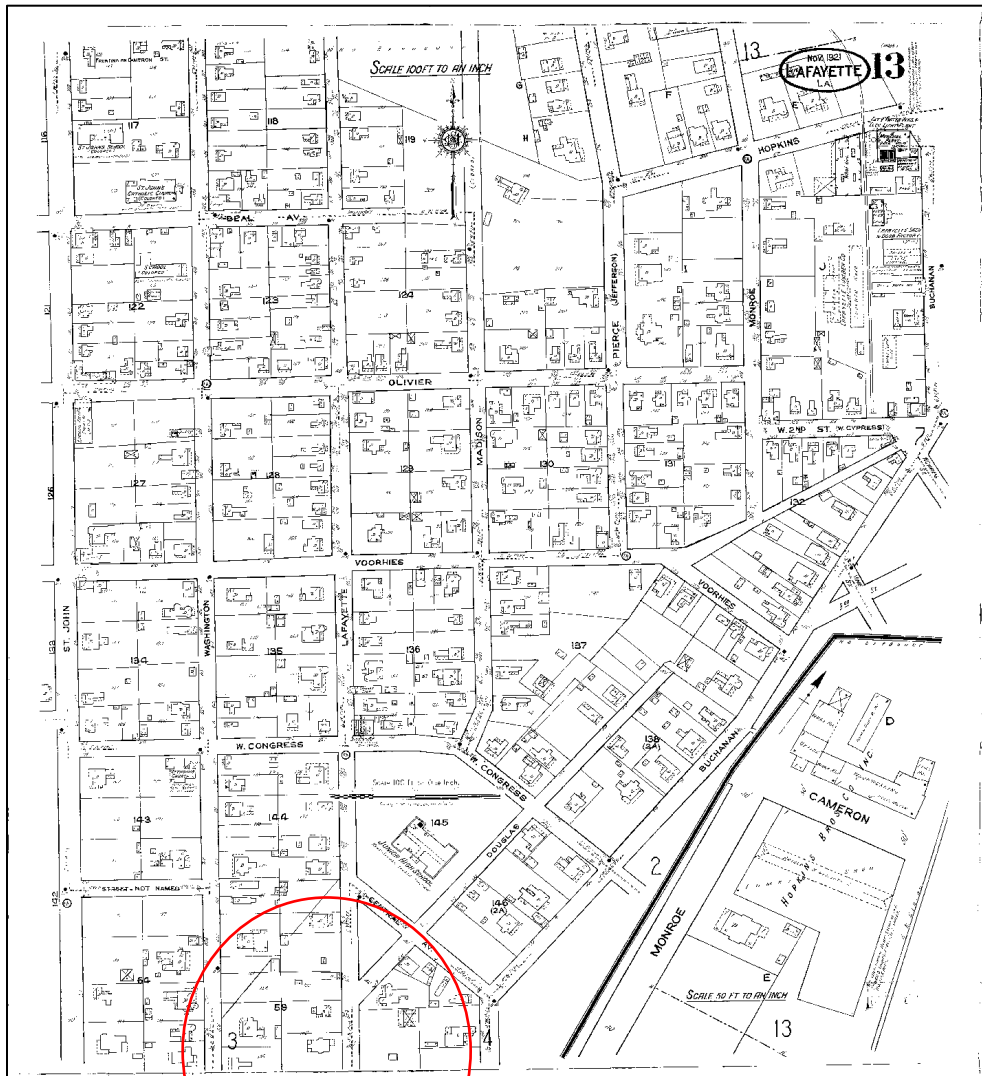
⁴ LA SHPO National Register of Historic Places database -

<https://www.crt.state.la.us/dataprojectsVS/NRHP/PublicForms/PublicSearchResult>

⁵ Lafayette Parish Assessor's Office online property map - <https://portico.mygisonline.com/html5/?viewer=lafayetteella>



3. *Locate Sanborn Fire Insurance Company Maps:* The Sanborn Fire Insurance Company created maps across the United States for use in determining insurance rates. These [maps](#)⁶ are incredibly detailed and provide information about materials, uses, dates of construction or alteration, and utilities. Sanborn maps can be accessed for free through the [Louisiana Library Connection Statewide Database](#)⁷. You can use the computers at the [Lafayette Public Library](#)⁸ or connect remotely using your Lafayette Parish Public Library card. These records are sorted by area and then identified by square number. Note that square numbers can change so it is helpful to know the bounding streets of the square where your property is located.



Sanborn maps are most easily researched from the most recent date available backwards. Also, the company did not record every neighborhood of every city each time the city was documented so your neighborhood may not be included in some years. The latest Lafayette Sanborn maps are available for

⁶ Key to understanding the Sanborn Fire Insurance Company maps - <https://www.loc.gov/rr/geogmap/sanborn/san12.html>

⁷ Louisiana Library Connection - <http://lilibcon.state.lib.la.us/>

⁸ Lafayette Public Library - <http://lafayettepubliclibrary.org/>



Lafayette Historic District Design Guidelines: Appendix C – Historic Research

download using a library card number through the Lafayette Public Library website, <http://lafayettepubliclibrary.org/> under “Research and Databases” and also at the State Library of Louisiana at <http://lilibcon.state.lib.la.us/>. Sanborn maps can be found online dated to the 1940s. Areas developed after that time will not be in the digital record. You can purchase Sanborn Maps online.

4. *Check the Lafayette Parish Clerk of Court Historic Photos:* The [Lafayette Parish Clerk of Court](#)⁹ has one of the most extensive collections of historic photos of the Lafayette-area available to the public. Some of the photos are visible in the lobby of the Lafayette Parish Courthouse but most can be accessed only by appointment. You can arrange an appointment by calling 337-291-6300.

Some of the photos in the Clerk’s collection have been published in local history books that can be found in the Local History collection on the second floor of the [Main Branch](#)¹⁰ of the Lafayette Parish Library.

5. *Try the Louisiana Digital Collection:* The [Louisiana Digital Collection](#)¹¹ is a centralized digital archive for the state’s archives, libraries, and museums. Materials in the collection include photos, oral histories, books, and maps. It is keyword searchable.
6. *Join the Lafayette Facebook Memories Group:* Persons with a deep interest in the history of the Lafayette area have created a dedicated Facebook page filled with older photos. The photos are not keyword searchable, but interesting and do include several neighborhoods and streetscapes. Permission to join the group is necessary.
7. *Talk to people:* If you inherited your property, check with family members for old photos of the property. You also may have luck by asking neighbors with long-time occupancy of their properties. Be prepared to look in the backgrounds of photos of birthday parties, graduations, and celebrations. Also look for old documents such as insurance paperwork that may have property descriptions or photos.

If you are interested in learning more about your property and are willing to invest a significant amount of time:

1. *Run a property chain of title:* The Lafayette Parish Clerk of Court Land Records Department will run a chain of title for a [fee](#)¹². Alternately, utilizing a current deed or Parish Assessor record, you can [research](#) the history of the property in the Parish Land Records Department.
2. *Access Historic Aerials:* Several websites provide historic aerials of the Lafayette area for purchase. These records will allow you to track area development, narrow down a date of construction, and chart major additions.
3. *Check Old Newspaper Accounts:* Older Lafayette newspapers are filled with descriptions of residences and businesses as the property was developed, especially if the owner was socially or politically

⁹ Lafayette Parish Clerk of Court - <https://www.lpclerk.com/>

¹⁰ 301 West Congress Street, Lafayette - http://lafayettepubliclibrary.org/?page_id=118

¹¹ Louisiana Digital Library - <https://louisianadigitallibrary.org/>

¹² Information about requesting the Clerk of Court to run the title - <https://www.lpclerk.com/land-records-copy>



significant. These accounts are available in searchable online sources through the Lafayette Public Library or by paid subscription.

4. *Review Census Records:* The United States takes a detailed census of residents every ten years. Many paid subscriptions offer access to digital census records that are searchable by name and, in some cases, address. As of April 2022, all Censuses from 1790 to 1950 are publicly available.¹³ Be aware that name spellings, especially in a multi-lingual area such as Lafayette in the nineteenth century, may be inaccurate. For example, the surname “Breaux” may be spelled “Bro,” “Braud,” “Braux,” or “Broh.”
5. *Access the Edith Garland Dupré Library at the University of Louisiana at Lafayette:* The [Special Collections](#)¹⁴ of the Edith Garland Dupré Library at the University of Louisiana at Lafayette hold several collections specific to families. If you or your property are related to persons significant to the development of Lafayette, this library may have old family photos, letters, legal papers, and diaries.

The Library maintains a vertical file of newspaper clippings and also has a large collection of maps of Lafayette and the surrounding areas that show patterns of development, street name changes, and utility work. For an appointment, email speccoll@louisiana.edu or call 337-482-6031.

6. *Visit the Lafayette Parish Assessor’s Office:* The [Parish Assessor’s Office](#)¹⁵ is responsible for valuing property. Through these records, you should be able to chart major appreciations or depreciations in your property’s value that may be linked to construction or demolition. This information can help to pinpoint a year of construction.

¹³ Most of the 1890 U.S. Federal Census burned and the records are largely unavailable.

¹⁴ Special Collections - <https://library.louisiana.edu/collections/louisiana-room>

¹⁵ Lafayette Parish Assessor - <https://www.lafayetteassessor.com/Home/Facts>



Appendix C: Environmental Cautions

Asbestos

Asbestos is a heat-resistant material commonly used in historic building materials, notably shingles and vinyl floor tiles. Prolonged exposure to airborne asbestos fibers can lead to various lung diseases, including lung cancer.

For more information on asbestos, including asbestos removal contractors, see the Louisiana Department of Environmental Quality [here](#).

Lead

Commonly used in paints before 1978, lead improved paint's covering and adhesion qualities. Ingestion of lead-contaminated paint flakes or inhalation of lead-contaminated paint dust can lead to various issues, such as headaches, dizziness, fatigue, and memory loss for adults and learning disabilities for children.

For more information on lead, see the Louisiana Department of Environmental Quality [here](#).

For more information on reducing lead-based hazards in historic buildings, see the Preservation Brief [here](#).